

ATTACHMENT C

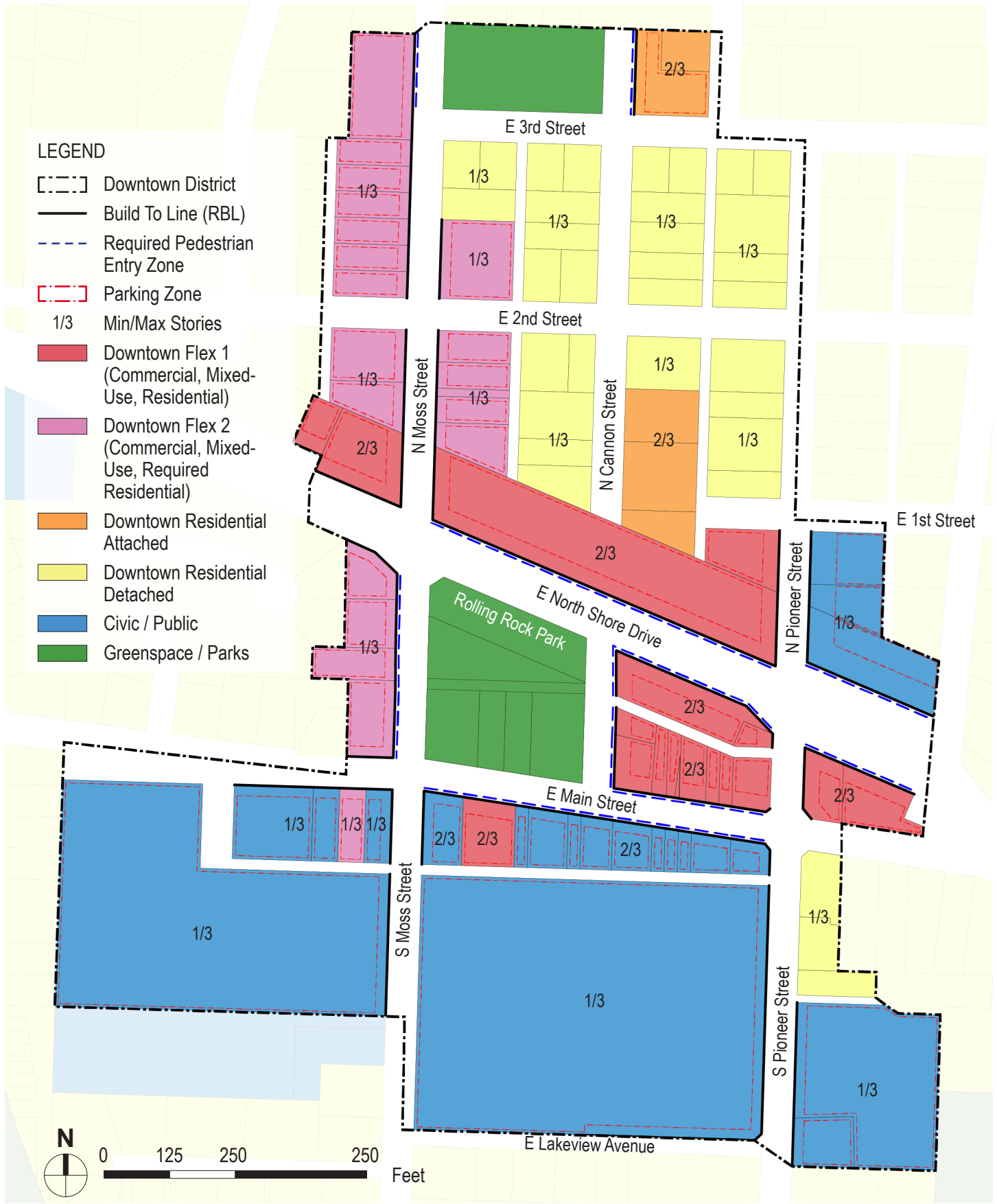
CITY OF LOWELL DOWNTOWN ZONING CODE

LAND DEVELOPMENT CODE

CONTENTS

9.421 DOWNTOWN REGULATING PLAN	2
9.422 BUILDING STANDARDS	3
9.423 DOWNTOWN FLEX 1 BUILDING STANDARD	4
9.424 DOWNTOWN FLEX 2 BUILDING STANDARD	5
9.425 DOWNTOWN RESIDENTIAL ATTACHED	6
9.426 DOWNTOWN RESIDENTIAL DETACHED	7

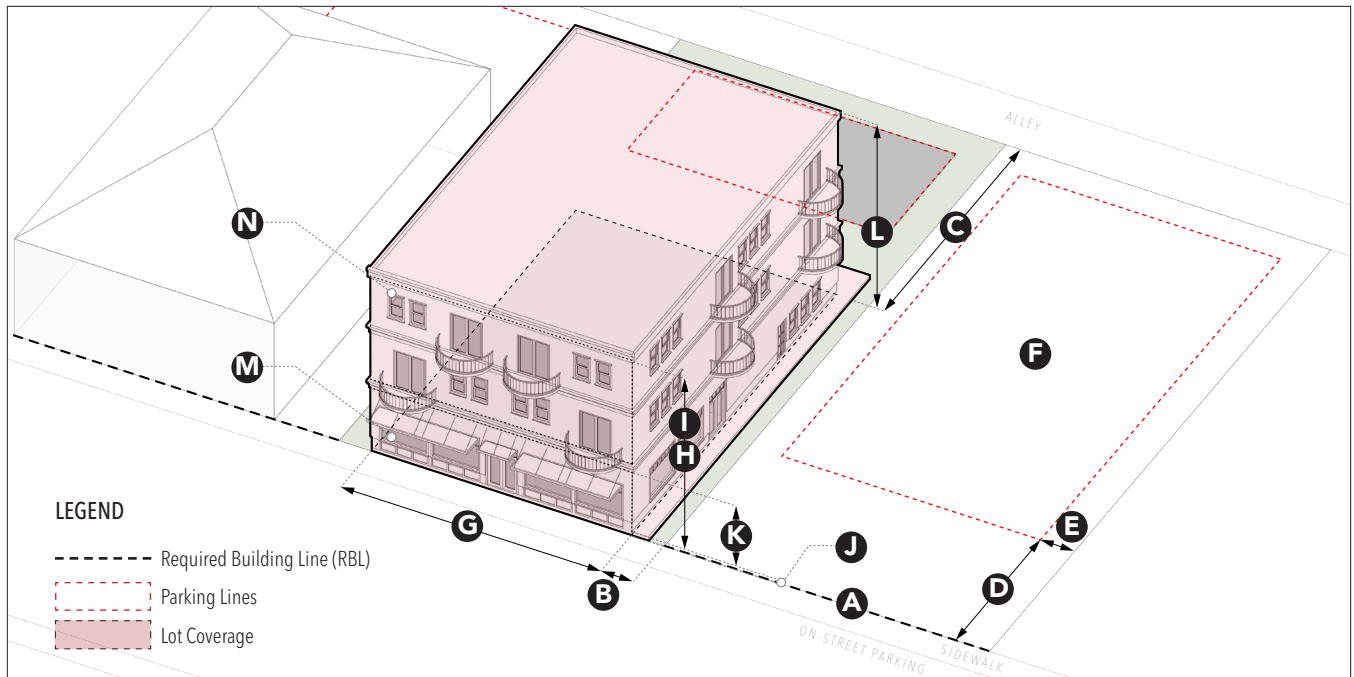
SECTION 9.421 DOWNTOWN REGULATING PLAN



SECTION 9.422 BUILDING STANDARDS

- (a) **Purpose.** The purpose of this section is to set forth the regulations for building standards applicable to each Parcel Type that are appropriate to use within Lowell Downtown district and are organized by development typology on the Regulating Plan. These standards are intended to ensure that new development strengthens and enhances the existing character and scale of the Lowell Downtown district and its surrounding communities.
- (b) **Applicability.**
- The requirements in this section shall apply to all proposed development within Lowell Downtown District and must be considered in relation to the intent and general character of the District.
 - The standards and requirements applicable to a Parcel Type shall modify and take precedence over any duplicative or conflicting provisions of the Supplemental Regulations as prescribed in the Lowell Downtown Zoning Code, unless otherwise explicitly permitted.
 - These building standards shall not apply to the existing use of any buildings or land and shall not prevent the restoration of a building damaged not more than fifty (50) percent of its assessed valuation by fire, explosion, natural disaster, or the public enemy, or prevent the continuance of the use of such building or part thereof as such use existed at the time of such damage, but shall apply to any alteration, expansion or enlargement of a building or alteration of any parcel.
- (c) **General.** Building standards are not intended to indicate or suggest any specific architectural style.

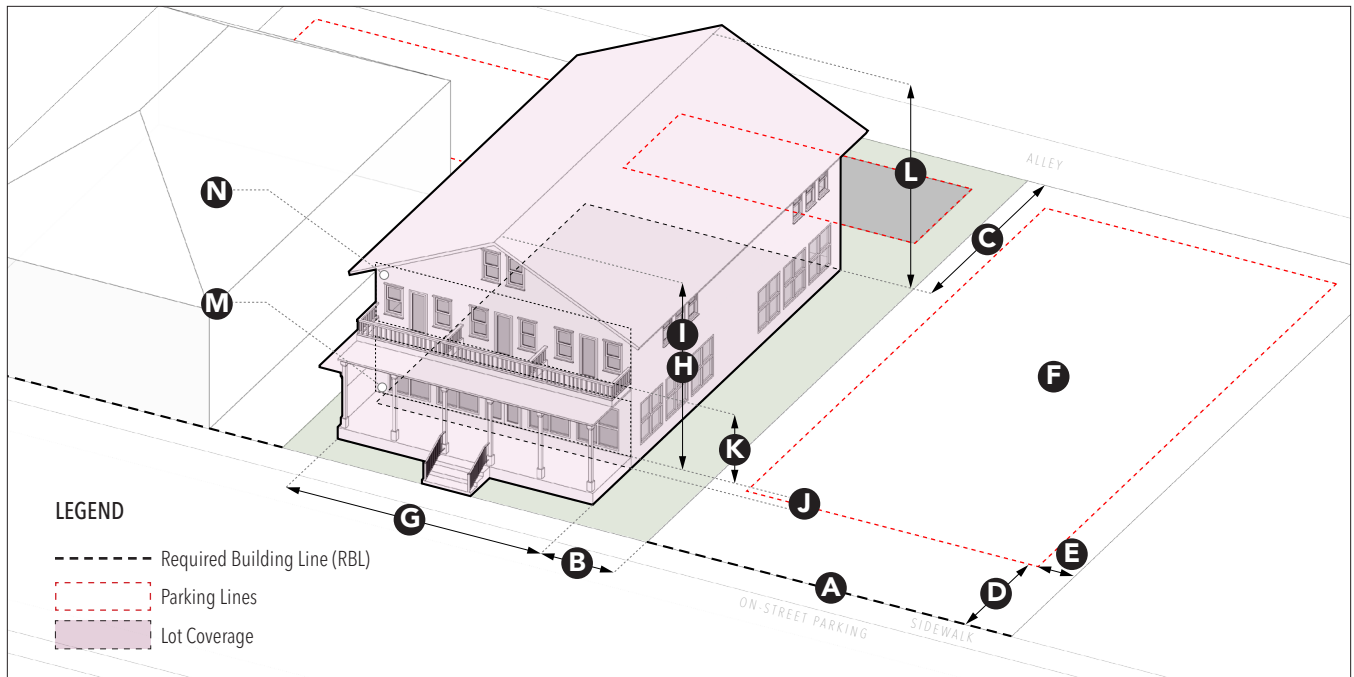
9.423 DOWNTOWN FLEX 1 BUILDING STANDARDS



Use	
Ground floor:	commercial (retail, service, office, trade)
Upper floor(s):	commercial (retail, service, office, trade), residential
Placement	
Front required building line (RBL)	0 ft; the front-most part of the building (i.e. wall, front porch) must be built to the RBL (A)
Side setback	0 ft min.; 10 ft min. when abutting residential zone (B)
Rear setback	0 ft min.; 10 ft min. when abutting residential zone (C)
Parking setback from RBL	30 ft min. (D)
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone (E)
Coverage	
Lot area	no min.; see Notes for prerequisites (F)
Lot coverage	100% max.; see Notes for prerequisites
Primary street facade built to RBL	90% min. of RBL length (G)
Height	
Minimum number of floors	2 floors (H)
Maximum number of floors	3 floors (I)
Ground floor elevation	0 in min. above sidewalk; see Notes for residential use (J)
Floor to floor height	10 ft min. (K)
Building height	no max.; see Notes when abutting residential zone (L)
Facade Transparency	
Ground floor	75% of facade area min. (M)
Upper floors	40% of facade area min. (N)
Parking	
Number of space	see Section 9.514 Off-Street Parking Requirements

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
 - Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
 - Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access and pedestrian circulation including persons with disabilities
 - One hundred percent lot coverage is allowable when applicable minimum loading/parking space and setback requirements are met
 - There is no building height limitation except when the property abuts a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
 - Exterior building articulation is required every 40 horizontal feet or less
 - Ground floor with non-street-facing residential use must be elevated a minimum of 18 inches above grade
 - Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to public right of way
 - Off-street parking, drives, garages, and other vehicle areas must be oriented to and accessed from the alley or located behind or to the side of the building; they cannot be placed between buildings and streets
 - Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
 - Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep

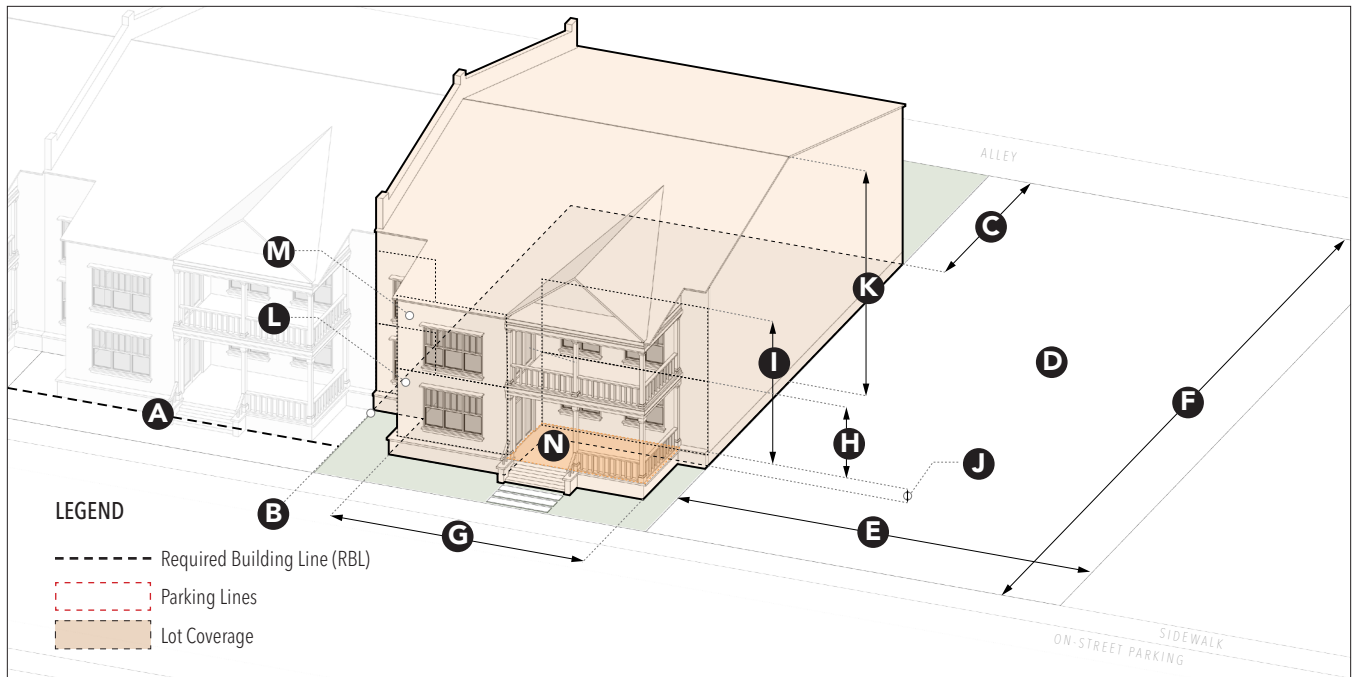
9.424 DOWNTOWN FLEX 2 BUILDING STANDARDS



Use		
Ground floor:	commercial (retail, service, office, trade), residential	
Upper floor(s):	commercial (retail, service, office, trade), required residential	
Placement		
Front required building line (RBL)	0 - 10 ft; the front-most part of the building (i.e. wall, front porch) must be built to RBL	A
Side setback	5 ft min.; 10 ft min. when abutting residential zone	B
Rear setback	0 ft min.; 10 ft min. when abutting residential zone	C
Parking setback from RBL	20 ft min.	D
Parking setback from parcel lines with no RBL	6 ft min.; 20 ft min. when abutting residential zone	E
Coverage		
Lot area	no min.; see Notes for prerequisites	F
Lot coverage	70% max.	
Primary street facade built to RBL	80% min. of RBL length	G
Height		
Minimum number of floors	1 floors	H
Maximum number of floors	3 floors	I
Ground floor elevation	0 in min. above sidewalk; see Notes for residential use	J
Floor to floor height	10 ft min.	K
Building height	no max.; see Notes when abutting residential zone	L
Facade Transparency		
Ground floor	70% of facade area min.	M
Upper floors	40% of facade area min.	N
Parking		
Number of space	see Section 9.514 Off-Street Parking Requirements	

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
 - Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
 - Lots are required to be large enough and developed to accommodate the building, sewage disposal system, required parking, service access and pedestrian circulation including persons with disabilities
 - There is no building height limitation except when the property abut a residential zone, in which case the building height is limited to the height allowed in the adjacent residential zone for a distance of 50 ft.
 - Exterior building articulation is required every 40 horizontal feet or less
 - Ground floor with residential use must be elevated a minimum of 18 inches above grade
 - Pedestrian sidewalks or walkways must be provided to connect the building primary entrance to public right of way
 - Off-street parking, drives, garages, and other vehicle areas must be oriented to and accessed from the alley or located behind or to the side of the building; they cannot be placed between buildings and streets
 - Access shall be designed to encourage pedestrian and bicycle use and shall facilitate vehicular movements with minimum interference or hazards for through traffic. Access may be subject to the review and approval of the County Engineer or State Department of Transportation. The dedication of additional right-of-way and construction of street improvements by the applicant may be required in order to facilitate traffic circulation.
 - Any ground-level shopfront windows facing circulation networks must be kept visible (unshuttered) at night
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep

9.425 DOWNTOWN RESIDENTIAL ATTACHED BUILDING STANDARDS

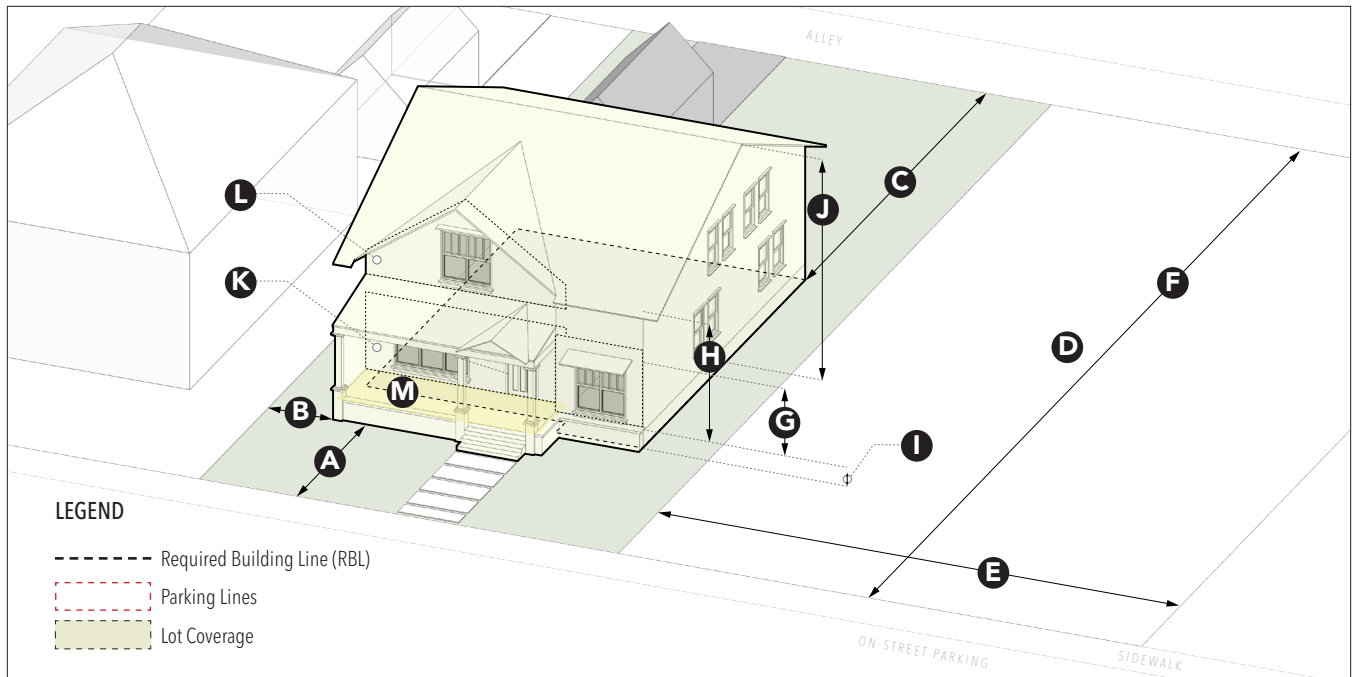


Use		
Ground/upper floor:	residential (primary), commercial (retail, service, office, trade)	
Placement		
Front required building line (RBL)	5 - 15 ft when applicable; the front-most part of the building (i.e. wall, front porch) must be built to RBL	A
Side setback	5 ft min.	B
Rear setback	5 ft min.; 0 ft min. when abutting an alley	C
Coverage		
Lot area	2,000 sf min.	D
Lot width	20 ft min.; 40 ft min. for corner lots	E
Lot depth	1.5x lot width or 100 ft, whichever is less	F
Lot coverage	60% max.; see Notes	
Primary street facade built to RBL	80% min. of RBL length when applicable	G
Height		
Minimum number of floors	2 floors	H
Maximum number of floors	3 floors	I
Ground floor elevation	18 in min. above sidewalk	J
Building height	subject to Fire Chief approval.; see Notes	K
Facade Transparency		
Ground floor	40% of facade area min.	L
Upper floors	40% of facade area min.	M
Porch / covered stoop		
Dimension	6 x 6 ft min. for each primary entry	
Parking		
Number of space	no min. requirement	N

Notes

- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
- Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
- Maximum lot coverage includes accessory buildings, provided that any patio structure used solely for open space and swimming pool not structurally covered shall not be counted as a structure for ascertaining coverage
- Maximum building height excludes excluding basements/ daylight basements.; accessory buildings are limited to one story
- All garages, carports or other parking structures must be located behind or to the side of the buildings; they cannot be placed between buildings and streets
 - Garages can be on the first level if accessed oriented to and accessed from an alley
 - Garages can be a detached style if oriented to and accessed from an alley
 - When no alley exists, garages can be tucked under the first story and accessed from the front or side of the property if set back a minimum of 20 ft
- Residential uses entirely above the ground floor must have a balcony at least four feet deep

9.426 DOWNTOWN RESIDENTIAL DETACHED BUILDING STANDARDS



Use		
Ground/upper floor:	residential (primary), commercial (retail, service, office, trade)	
Placement		
Front setback	10 ft min., 30 ft max.	A
Side setback	5 ft min.	B
Rear setback	5 ft min.; 0 ft min. when abutting an alley	C
Coverage		
Lot area	5,000 sf min.; 6,000 sf min. for corner lots	D
Lot width	40 ft min.; 50 ft min. for corner lots	E
Lot depth	60 ft min.	F
Lot coverage	50% max., 60% max. with Accessory Dwelling Unit (ADU); see Notes	
Height		
Minimum number of floors	1 floors	G
Maximum number of floors	3 floors	H
Ground floor elevation	18 in min. above sidewalk	I
Building height	subject to Fire Chief approval.; see Notes	J
Facade Transparency		
Ground floor	40% of facade area min.	K
Upper floors	40% of facade area min.	L
Porch / covered stoop		
Dimension	6 x 6 ft min. for each primary entry	M
Parking		
Number of required space	1 space per unit	

- Notes**
- Uses that create odor, dust, smoke, noise, or vibration that is perceptible beyond the property boundaries are prohibited
 - Primary building entrance must be located along the Required Entry Zone (REZ) and be oriented to the street
 - Maximum lot coverage includes accessory buildings, provided that any patio structure used solely for open space and swimming pool not structurally covered shall not be counted as a structure for ascertaining coverage
 - Maximum building height excludes excluding basements/ daylight basements.; accessory buildings are limited to one story
 - All garages, carports or other parking structures must be located behind or to the side of the buildings; they cannot be placed between buildings and streets
 - Garages can be on the first level if accessed oriented to and accessed from an alley
 - Garages can be a detached style if oriented to and accessed from an alley
 - When no alley exists, garages can be tucked under the first story and accessed from the front or side of the property if set back 20 ft min. from RBL.
 - Residential uses entirely above the ground floor must have a balcony at least four feet deep